



STEPHENSON BROWNE

## Chesterton Way, Weston, Crewe

CW2 5NZ



Offers Over £450,000

# DESCRIPTION

EXECUTIVE DETACHED RESIDENCE – PARKLAND VIEWS TO THE REAR - A traditional, five bedroom detached residence, enjoying a cul-de-sac position in Chesterton Way which is a truly delightful cul-de-sac, located on the highly desirable Wychwood Village development, surrounded by lovely Cheshire countryside. The property is well planned, with spacious accommodation throughout perfect for family living.

The property benefits from modern double glazing & gas central heating, a lovely open lounge with dual-aspect windows and French doors opening to the rear garden, a large open plan kitchen breakfast room with a range of integrated appliances, separate dining room, downstairs WC and handy understairs storage cupboard. Upstairs to the first floor, there are three generous double bedrooms with all having fitted wardrobes and two having en-suite shower rooms, in addition to the family bathroom. To the second floor, a spacious landing with space to be used as a study with a storage cupboard housing the hot water cylinder, two double bedrooms with one having an en-suite shower room.

Externally, a double length tandem garage has been partly partitioned for use as a workshop with driveway in front. To the rear, a spacious rear garden enjoying fantastic views over open parkland.

A property like this must be viewed to be appreciated, please contact the office to arrange your all-important viewing.





# ROOM DESCRIPTIONS

## Entrance Hall

Composite entrance door having double glazed frosted insets. Single panel radiator. Stairs to the first floor. Doors to all rooms.

## Lounge

20'6" x 10'8"  
Two single panel radiators. Double glazed window to the front elevation. Double glazed French doors opening to the rear garden. Ethernet point.

## Dining Room

10'8" x 11'11"  
Double glazed window to the front elevation. Single panel radiator.

## Kitchen Breakfast Room

16'11" x 10'1"  
Range of wall, base and drawer units with roll top work surfaces over incorporating a stainless steel 1.5 bowl sink unit. Integrated double oven with five ring gas hob and extractor canopy over. Integrated dishwasher. Integrated fridge freezer. Integrated washing machine. Single panel radiator. Two double glazed windows to the rear elevation. Composite door having double glazed frosted inset opening to the rear garden.

## Downstairs WC

2'8" x 5'7"  
Two piece suite comprising a low level WC with push button flush and a pedestal wash hand basin with mixer tap and splashback tiling. Single panel radiator.

## First Floor Landing

Double glazed window to the front elevation. Single panel radiator. Stairs to the second floor.

## Principal Bedroom

12'4" x 10'8"  
Double glazed window to the rear elevation. Single panel radiator. Fitted wardrobes having hanging rail and shelving. Ethernet point.

## En-Suite

5'10" x 6'5"  
Three piece suite comprising a low level WC with push button flush, pedestal wash hand basin with mixer tap and a shower cubicle with shower over. Double glazed frosted window to the rear elevation. Heated towel rail.

## Bedroom Three

9'10" x 9'2"  
Single panel radiator. Double glazed window to the rear elevation. Fitted wardrobes having hanging rail and shelving.



### En-Suite

5'2" x 5'3"

Three piece suite comprising a low level WC with push button flush, pedestal wash hand basin with mixer tap and a shower cubicle with shower over. Double glazed frosted window to the rear elevation. Single panel radiator.

### Family Bathroom

7'6" x 5'10"

Three piece suite comprising a low level WC with push button flush, pedestal wash hand basin with mixer tap and a panelled bath with mixer tap using shower attachment. Heated towel rail. Double glazed frosted window to the rear elevation.

### Bedroom Five

8'3" x 10'11"

Double glazed window to the front elevation. Single panel radiator. Ethernet point. Fitted wardrobe having hanging rail and shelving.

### Second Floor Landing

Doors to both bedrooms. Eaves storage. Storage cupboard having hanging rail and housing the hot water cylinder. Skylight. Single panel radiator.

### Bedroom Two

10'8" x 13'6"

Single panel radiator. Double glazed window to the front elevation.



### En-Suite

5'6" x 7'7"

Three piece suite comprising a low level WC with push button flush, pedestal wash hand basin with mixer tap and a shower cubicle with shower over. Skylight. Single panel radiator.

### Bedroom Four

16'6" x 10'11"

Two single panel radiators. Skylight. Double glazed window to the front elevation. TV aerial point.



### Garage

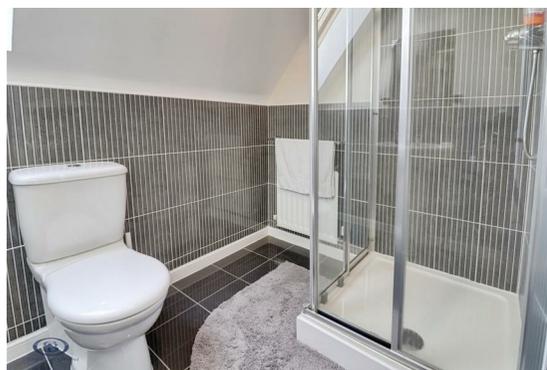
21'1" x 9'0"

Up and over door to the front. Power and lighting. Door into:-

### Workshop

9'0" x 10'2"

Courtesy door to the rear. Power and lighting.



### Externally

The property is approached by a tarmac driveway providing off road parking leading to a double tandem garage. Front garden mainly laid to lawn. Access gate to the rear. The rear garden is mainly laid to lawn with patio area providing space for garden furniture. Fenced boundaries. Borders housing a variety of trees, shrubs and plants.



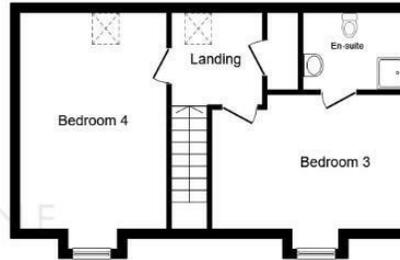
# Floorplans



Ground Floor



First Floor



Second Floor

01270 883130

# Area Map



# EPC Rating

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C		79	85
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO <sub>2</sub> emissions			
England & Wales		EU Directive 2002/91/EC	

# Viewing

Please contact our office using the details provided on the final page if you are interested in booking a viewing or require further information.

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T: 01270 883130 E: alsager@stephensonbrowne.co.uk

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